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PC Development
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**THE CROSSING AT BAXTER MEADOWS
PROPERTY OWNERS ASSOCIATION
BUILDING AND LANDSCAPE DESIGN
REGULATIONS AND GUIDELINES**
(aka Baxter Meadows Subdivision P.U.D. Phase 4)



ARTICLE 1

INTRODUCTION, PURPOSES AND DEFINITIONS

Section 1.1 Introduction. These are the Building and Landscape Design Regulations and Guidelines of The Crossing at Baxter Meadows Property Owners Association, Inc. (the "Association"), which are implemented by the Baxter Meadows Master Community Association's Building and Landscape Review Committee ("BLRC") on behalf of the Association.

Section 1.2 Purposes. The purposes of The Crossing at Baxter Meadows Property Owners Association Building and Landscape Design Regulations and Guidelines is to describe the general nature and appearance of improvements made to Lots within the community, in order that the BLRC may review and approve or disapprove plans, specifications, designs, landscaping, sites and locations of improvements to be constructed or erected on any Lot within the property. The community is a planned community, and the Declarant has developed four architectural floor plans, and has selected specific sites for each one of these units to be constructed upon. The Declarant will work cooperatively with one or more residential contractors of their choosing, to construct the residences within The Crossing. It is also intended that the landscaping and site improvements will be installed by the Declarant or his registered agent or contractor. The BLRC may consider some minor modifications to the architectural plans, or construction of an altogether different plan, so long as it is in accordance with the strict architectural theme of The Crossing residences and the Building and Landscape Design Regulations and Guidelines contained herein.

Section 1.3 Definitions. Terms used herein shall have the meanings set forth in the Declaration, unless expressly defined herein.

ARTICLE II

ARCHITECTURAL CONTROL PROCESS

Section 2.1. Intent. The building and landscape design regulations and guidelines which follow are intended to compliment the City of Bozeman Uniform Development Ordinance (UDO) which govern this community, and to clarify the intention for the design of buildings and landscaping for this project. Specifically, these guidelines set forth design criteria which address the building design and location, landscaping, lot density, and other improvements. The intent of these guidelines is to provide parameters for modification of existing plans, or creation of new plans while at the same time define a minimum level of quality and consistency of building design which will be consistent with and maximize the quality of the overall project.

On behalf of The Crossing at Baxter Meadows Property Owners Association, the Baxter Meadows Master Community Association Building and Landscape Review Committee (BLRC), and or its assigns, shall review and approve or disapprove all plans and specifications submitted to it for any proposed improvement or landscape development.

No construction or alteration of any improvement or any work affecting the external appearance of any improvement shall be made, erected, altered, placed or permitted to remain



upon the Lot until a site plan, floor plans, elevations, exterior details, and general specifications showing the design, location, material (s), and color (s) and with the name of the contractor have been submitted to and such site plan specifications are approved in writing by the BLRC and or its assigns.

Section 2.2. Standards for Review. It shall be the applicant's responsibility to ensure that all proposed construction shall comply with the International Residential Code, National Plumbing Code and the National Electrical Code, and the Design Guidelines. All plans must be harmonious with the overall plan for the development. All plans, materials and specifications must be suitable to the site, adjacent properties and the neighborhood. All improvements must be compatible with the surrounding properties so as to not impair or degrade property or aesthetic values.

Section 2.3. Approval or Disapproval by Building and Landscape Review Committee. The BLRC shall have fifteen (15) business days to approve or disapprove the location, construction design, landscaping, and materials used for the home. This fifteen (15) day approval time period shall commence once all documents necessary for review have been submitted, including but not limited to a detailed site plan, floor plans, roof plans, exterior details, project specifications, color samples, sample materials and landscaping plans. The BLRC may request additional plans, project specifications, color samples, or sample materials. The time for plan review shall be adjusted accordingly if plans are submitted during any holidays. Approval of plan submittal shall require a majority by the BLRC. Upon approval, the Owner is also required to secure a building permit from the City of Bozeman with the BLRC approval letter as a prerequisite for City review. Upon securing both the BLRC approval letter and building permit from the City of Bozeman, the Owner may commence construction in accordance with said plan. Any deviation from said plan which, in the judgement of the Committee, is a deviation of substance from the requirements of this Declaration, or is a detriment to the appearance of the structure or to the surrounding area, shall be promptly corrected to conform with the submitted plan by the Owner or corrected by the Master Community Association at the Owner's expense as provided in these Regulations and Guidelines.

Section 2.4. Inspection of Work. Upon the completion of any Improvement, if the BLRC finds that such work was not done in strict compliance with all approved plans and specifications submitted or required to be submitted for its prior approval, it shall notify the Owner and the Directors of such noncompliance, and shall require the Owner to remedy the same. If, upon the expiration of seven (7) days from the date of such notification, the Owner has failed to commence to remedy such noncompliance, the Directors shall determine the nature and extent of noncompliance thereof and the estimated cost of correction. The directors shall notify the Owner in writing of the Director's estimated cost of correction or removal. The Owner shall then have five (5) days to commence such remedy and thirty (30) days to complete such remedy. If the Owner still does not comply with the Director's ruling within such five (5) day period, the Directors, at their option, may remove the noncomplying Improvement or remedy the noncompliance, and the Owner shall reimburse the Association upon demand for all expenses



incurred in connection therewith. If such expenses are not promptly repaid by the Owner to the Association, the Directors shall levy an assessment and file a lien against such Owner and the Improvement in question and the land on which the same is situated for reimbursement and the same shall be enforced and/or foreclosed upon in the manner provided for by law for mortgages.

Section 2.5. Design Submittal Inclusions.

- A) A site plan, depicting all improvements, including but not limited to setback lines, structure(s), driveways, walks and decks. Scale shall be 1/8" = 1'-0" or similar engineering scale.
- B) Complete construction drawings - Two (2) sets shall be submitted to the BLRC for approval. Each set shall include floor plans, exterior elevations of all sides, roof design, specifications and any construction details. Scale shall be 1/4" = 1'-0".
- C) Samples of all exterior materials with their respective color proposals in an adequate size to evaluate properly.
- D) A review fee will be required at the time of submission of all the design submittal documents and materials. The purpose of the design review fee shall be to defray the BLRC's cost of review of all proposed site plans and specifications submitted to them. The fee, which shall be set by the Directors from time-to-time shall initially be \$1,000.00.

Section 2.6. Start of Construction. There shall be no construction work initiated without a building permit issued by the City of Bozeman and without written approval of the plans by the BLRC. The City of Bozeman is to be provided a copy of the BLRC approval letter as a prerequisite for the City review. All building construction and landscaping must conform to both the final approved plans by the City of Bozeman and the BLRC.

Section 2.7. Completion. Once started, all work on any improvement upon any Lot must be maintained on a continuous and diligent basis until completion, which shall not exceed 18 months, unless otherwise approved in writing from the BLRC.

**ARTICLE III
BUILDING AND SITE DEVELOPMENT**

Section 3.1. Intent of Design Criteria. The primary goal is to ensure that the proposed Project design, including landscaping, maintains or exceeds the general level of quality, size, appearance, and marketability as is commensurate to the higher quality residential lots and homes adjacent to it and higher quality homes in general. All initial or subsequent improvements to the privately owned Lots shall be subject to the following architectural and landscaping requirements and guidelines. Approval by the BLRC shall be obtained prior to



application to the City of Bozeman for a building permit. The submittal requirements for review by the BLRC are specified herein. The BLRC shall have no power to approve any structure failing to meet, at minimum, the conditions set forth in this declaration.

Section 3.2. General Regulations. All Lots within The Crossing at Baxter Meadows Property Owners Association are subject to the zoning regulations of the City of Bozeman except for any variances thereto granted by the City of Bozeman as shown on the Final Plat of Baxter Meadows Subdivision P.U.D. Phases 4A, 4B, 4C, and 4D, as filed in the Gallatin County Courthouse. All such variances to the zoning requirements of the City of Bozeman shall be specified on the final plat noted above or within the body of this Declaration.

In addition to these Regulations, building design may be regulated by City, County, State and Federal regulatory agencies having jurisdiction. The Owner or his or her agent shall be responsible to ensure conformance with any applicable regulations, and should check with the City of Bozeman, Gallatin County, and State of Montana Building Codes Division to verify that the most recently adopted edition of any applicable regulation is being used. No construction of, or alteration to, any improvements, whether temporary or permanent, including but not necessarily limited to buildings, fences, walls, earthwork, paving, vegetation, signs, or secondary structures such as utility or trash enclosure, antennas and storage tanks shall be commenced on any lot prior to receiving the written approval of the BLRC and the City of Bozeman.

Interior modification and/or improvements that do not alter the exterior appearance of a building, or the site improvements, shall not require the approval of the BLRC. Although an Owner is responsible to check with the City of Bozeman to see if such interior modification and/or improvements requires their approval.

Section 3.3. Density, Allowable Uses, Allowable Areas and Setbacks.

A) Density. No more than one (1) single family residence may be built on each single family residential lot.

B) Allowable Uses: Each single family residential lot shall be used exclusively for residential purposes and not more than one family (as defined by the City of Bozeman Unified Development Ordinance) shall occupy such residences, provided however that nothing in this subparagraph shall be deemed to prevent:

1. Any person from pursuing his or her calling upon the lot or dwelling unit owned by or occupied by such person, if such person primarily uses such lot or dwelling unit for residential purposes is self-employed and has no employees working on such lot or in such dwelling unit, and does not advertise any product, work for sale, or service provided to the public upon such lot or dwelling unit. The leasing of any lot from time to time by the Owner thereof is, subject however, to all of the restrictions as may be adopted from time to time by the Association.



2. Home occupations or professions shall be allowed on lots in Baxter Meadows provided that they adhere to the requirements of the City of Bozeman Uniform Development Ordinance. No advertising or directional signs relating to a home occupation or profession shall be allowed within the private, public, or commonly held lands within Baxter Meadows. Said home occupations or professions may require a City of Bozeman home occupation license or business license.

C) Setbacks. Each lot in The Crossing at Baxter Meadows shall have a buildable area determined by building or structure setbacks as stipulated by the City of Bozeman. For all Lots other than corner Lots, the setbacks are as follows:

- Front 15 feet
- Sides 5 feet
- Rear 20 feet

For most corner Lots, the setbacks are as follows:

- Front 15 feet
- Side adjacent to street 15 feet
- Alternate side 5 feet
- Rear 20 feet

For corner Lots 1 & 9 of Block 3 and Lots 10 & 20 of Block 4, the setbacks are as follows:

- Front 15 feet
- Side adjacent to street 10 feet
- Alternate side 5 feet
- Rear 20 feet

Section 3.4. Height Limits. The maximum building height shall never exceed that stipulated by the City of Bozeman.

Section 3.5. Minimum and Maximum Dwelling Sizes.

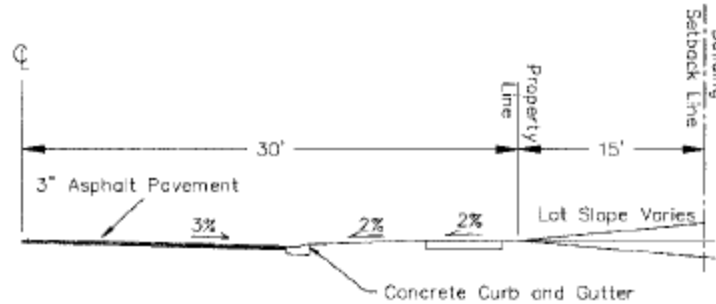
A) Minimum. Each lot shall provide the minimum living space exclusive of garages, decks, porches, and carports of 1,515 square feet.

B) Maximum. The maximum building size is determined by lot coverage guidelines stipulated by the City of Bozeman. Lots defined as Restricted Size Lots (RSL) on the final Plat shall not exceed 1,515 square feet exclusive of garages, decks, porches, and carports. All construction on these Lots must be in compliance with the sunset provisions of Section 18.42.180 of the Bozeman municipal code. Those provisions shall be automatically terminated after November 24, 2008, unless such date is extended by the City Commission.



Section 3.6. **Foundation Design.** All building foundations shall be constructed “high” to avoid potential problems with high ground water. Due to the potential of higher ground water on certain lots within the subdivision, the Lot Owner is encouraged to solicit a professional engineering evaluation of groundwater conditions on their specific lot, prior to foundation design. Basements within lower-lying areas are strongly discouraged. The Lot Owner must consult with a professional engineer and receive their certification prior to constructing a basement.

Typical Lot Grading Cross Section



**ARTICLE IV
BUILDING GUIDELINES**

Section 4.1. **Intent.** The intent of the following Building Guidelines is to provide for a degree of continuity throughout The Crossing at Baxter Meadow. Furthermore, the intent is to establish minimum standards and theme direction to ensure that the type of housing constructed is comparable to and blends with the mountain rustic style of housing found in the mountain towns of the West, and that the type of housing avoids the appearance of “tract housing”. All homes shall fully comply with the International Residential Code, as well as any and all pertinent codes established by the State of Montana, Gallatin County, and the City of Bozeman.

Furthermore, the architectural theme of The Crossing is specifically intended to create a mountain rustic feeling with friendly streetscapes. The Crossing is to be a neighborhood of tree lined streets and quaint traditional mountain styled homes. Garage doors are to be specifically subdued by recess or other design which results in the garage being subordinate to principal facade. The homes are to be designed to reflect the aesthetic and lifestyle values of the older Western mountain communities, while providing contemporary floor plans consistent with the needs of today’s families.

A vocabulary of architectural details and craftsman embellishments are to be considered for tasteful use in the exterior designs including:

- Highly visible, well accepted and weather protected front door entry areas.



- Traditional single or double hung and divided light windows with strong external accent trim.
- Appropriate use of exposed timbers, contoured rafter tails, natural looking roof materials, stone accents, natural looking siding materials with emphasis on horizontal materials and wood shingles contrasted with vertical elements.
- Strong "Story Book" roof shapes with gable dormers and shed dormers.
- Use of exterior colors and textures to tastefully define and embellish the architectural character of the homes.
- Emphasis on the charm and aesthetics of the historical "Mountain Rustic", "Park Architecture" or "Lodge Style" type houses and buildings prevalent in the earlier history of Montana and the West.
- "Four Sided" architecture, with form and design on all sides.
- Subdued exterior lighting throughout the neighborhood including the individual homes to enhance night sky viewing.

These criteria outlined above will be of paramount importance in the review and approval process of house plans by the BLRC.

The Crossing has been master planned to include three residential lot types which require specific house design configurations, including:

A) Lots Backing to Davis Lane and Baxter Lane. To ensure an attractive appearance of The Crossing community as viewed by the public utilizing Davis Lane and Baxter Lane, the improvements located within those particular lots backing to Davis Lane and Baxter Lane shall be required to meet an elevated architectural standard than those lots not backing onto arterial routes of travel. The BLRC shall emphasize the need for interesting architectural detailing and form, through selection and variation of materials facing the rear elevations of such houses. The roofs of residences located on such Lots must include sufficient interest and variation through the use of secondary roof forms facing the rear, in the form of dormers, interrupted roof ridgelines, exposed rafter tails, and other variations of traditional, vernacular roof systems.

B) Lots with Alley-Loaded Garages: The intent of this lot type is to create pleasant, traditional neighborhood front-yard streetscapes, which are uncluttered by garage doors and vehicle storage.

C) Conventional Lots, With Front-Loaded Garages: These conventional lots require de-emphasis and subdued garage door locations from the primary street frontage. Suggested design solutions include:

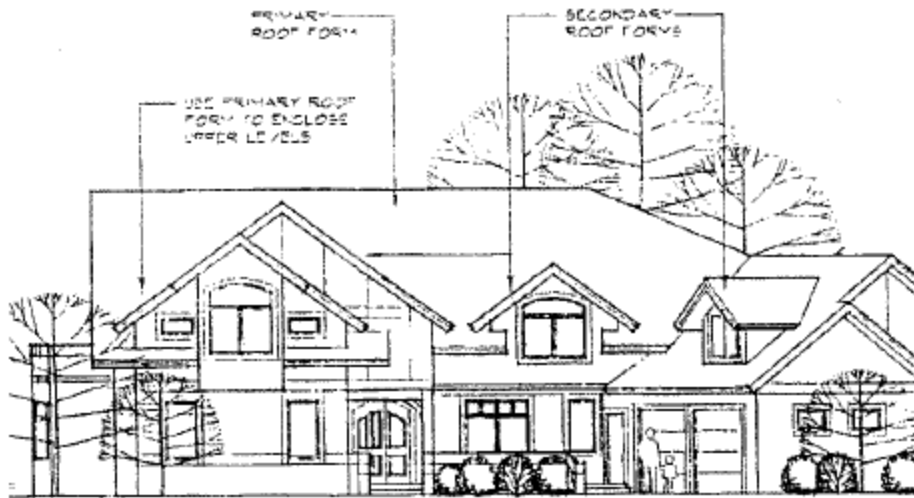
1. Courtyard configurations which orient the garage doors inwardly to the interior of the lot and in proximity to the front door.
2. Side access configurations which orient the garage doors outwardly to the side yard.



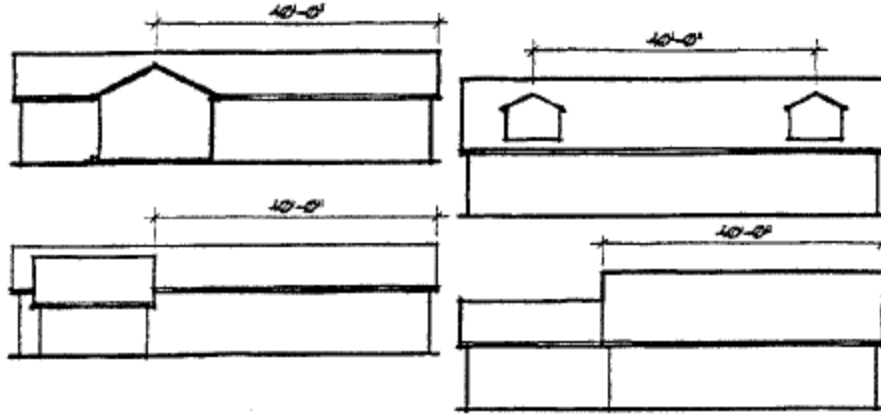
3. Corner configurations which orient the driveway and garage doors to the secondary streets.
4. For lots at the intersection of two streets, houses shall have the entry walkway and porch accessed from the same street as the adjacent lots. The intention is to end the block with houses that relate to the street in a similar manner as mid-block houses.

Section 4.2. Roofs. Roofs are a major element in the building design and therefore will be emphasized by the Building and Landscape Review Committee.

A) Shape and Form. Traditional gable, hip, and shed roof designs used in creative and aesthetically pleasing combinations are encouraged. Secondary roof forms are highly recommended in designs for The Crossing. These are particularly useful to give proper scale to large roof masses. They can be particularly effective when special care is given to their massing and pattern. For further illustrations see the drawing below:

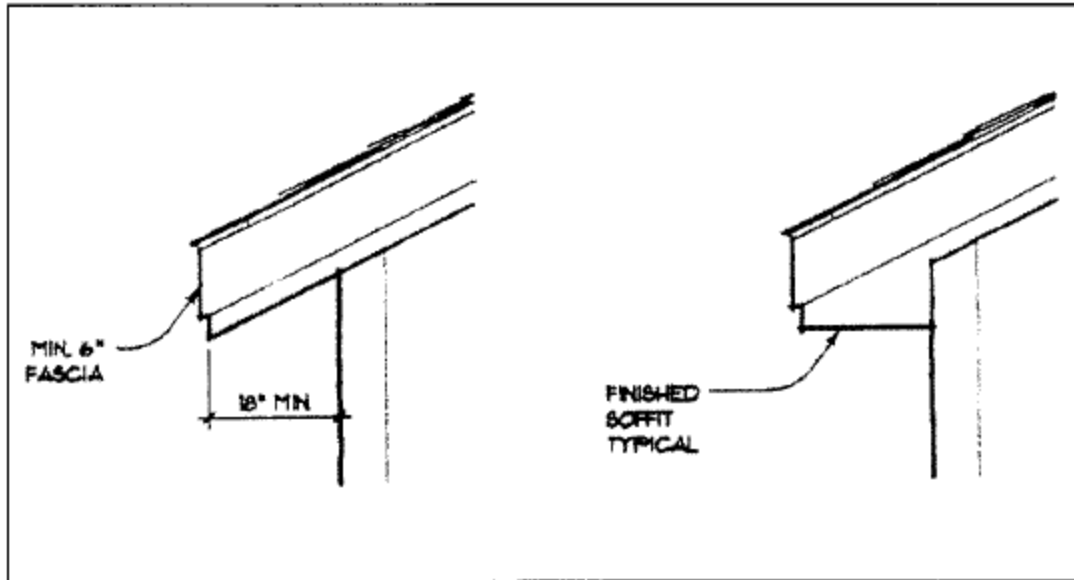


In addition, no roof ridge line shall extend more than forty (40) feet without interruption by an intersecting roof line, secondary roof structure, or step down roof in order to break up the overall roof mass.



ROOF ARTICULATION MEASUREMENT CRITERIA

- B) Pitches. The minimum roof pitch shall be 6:12 for the major components of any roof. Minor components and secondary roof structures, such as shed roofs and dormer roofs may have pitches as low as 3:12. No component of any roof shall have a pitch less than 3:12. Although, under certain special circumstances the roof design may incorporate as a minor component of the overall roof design a flat roof.
- C) Secondary Roof Structures. Dormers, skylights, chimneys and solar collectors are considered secondary roof structures. Dormers and most other secondary roof structures are encouraged, both to add interest and scale to major roof areas and to make habitable use of space within the roofs. Dormers and other secondary roofs may have gable, hip or shed forms and may be stacked in multiple forms.
- D) Eaves, Soffits, and Fascias. All major roof components shall have a minimum horizontal eave projection of 18 inches measured from the finished wall. Minor roof structures may have a reduced eave projection as necessary to maintain proper proportion or for a specific architectural effect demonstrated to the Committee. Eaves may have a horizontal or angled return to the wall. Soffits shall be required to cover all rafter tails and rough framing material, except where framing members are intentionally exposed, finished, and protected from exposure. All roof edges shall have a minimum fascia of 6 inches in height. For further illustration see drawing below.



E) Skylights. When designing the location of skylights, consideration should be given to both the interior and exterior appearance of the unit. Locations should also be coordinated with window and door locations. Skylights shall be located away from the valleys, ridges and other areas where drifting snow and snow ice may hinder the performance and safety of the unit.

F) Solar Collectors. Solar collectors shall be integrated into the overall roof design, and shall be placed parallel with the slope of the roof or wall of the building, located so as to minimize their appearance from public right of ways.

Section 4.3. Roofing Materials. Roofing materials enhance the building and need to be compatible with the single family residential neighborhood. The recommended roofing materials are natural cedar shakes, shingles, fiberglass, and asphalt composition in an "architectural" grade. Other materials may also be considered, but must have written approval from the BLRC.

Section 4.4. Gutters, Down Spouts and Flashing. Gutters and down spouts must be of a color and finish that blends with the finish colors of the structure. Flashing materials shall be of copper or painted, or anodized sheet metal.

Section 4.5. Roof Mounted Equipment and Ventilating Roof Protections. All roof mounted equipment shall be integrated into the overall roof design and screened. All sewer, bathroom, clothes dryer, hot water heater, wood or gas stove, or other roof venting stacks shall exhaust to the exterior of the building, and not into the attic, crawl space or basement. The



visibility of all such venting stacks from the street front shall be minimized, and all such stacks shall be painted a color as similar as possible to the roof material color.

Section 4.6. Exterior Walls. The exterior walls are one of the most important aesthetic elements in the building design and will reflect the image of the entire subdivision. Elements of specific concern are scale, proportion, texture and color. The scale and proportion of the exterior walls must have inherent interest and diversity, and harmonize with the high quality nature of the subdivision

- A) Material. Acceptable wall cladding materials are natural and manufactured stone and brick, synthetic or wood siding which is painted or stained Vinyl siding, and aluminum siding is not acceptable. Plywood siding, such as T1-11 is unacceptable.
- B) Colors. Exterior wall colors used shall be tones which harmonize and compliment the surrounding site and neighboring buildings. Trim may be more colorful and contrasting in order to add visual interest.
- C) Concrete. Exposed concrete shall be limited to a maximum of 8 inches from the bottom of the siding to the finished grade. Exposures in excess of 8 inches of concrete shall be covered by shrubs, masonry veneer, textured concrete surface such as exposed aggregate, or synthetic stucco.
- D) Chimneys. Chimneys, other than those used to exhaust heating systems, may exit the building on an exterior wall or within the structure through the roof. When part of an exterior wall they may be used as an accent form to break up the mass of the wall. They shall be of material that compliments other exterior finishes. Acceptable materials include natural or faux stone, or wood framing when the finished wood material is the same as the siding.
- E) Wall Form. No wall shall consist of a single finish treatment for more than 14 horizontal feet without interruption by a wall projection or a different siding material, window, wall corner, chimney, wall recess, porch or other architectural form that adds interest.
- F) Windows and Doors. Windows are an important architectural element and therefore significant numbers are highly encouraged. All windows shall be of double or triple glazing. No mirror glazing shall be allowed. All windows and sliding glass, french or atrium doors shall be vinyl, aluminum clad wood or similar material acceptable to the BLRC. Unclad custom built windows for individual applications shall be trimmed and painted to appear the same as the other windows in the structure and must be approved.

The patterns, sizing, symmetry (or asymmetry) of windows and doors determines the scale and feel of a home. The BLRC will require that the following aspects be carefully addressed in the window and door design:



- Consistency of types and shapes.
- Special shapes for "future" windows in appropriate areas.
- Window patterns consistent with design of the structure.

Section 4.7. Decks, Balconies and Porches. Decks, balconies and porches shall be designed to enhance the overall architecture of the building by creating variety and detail on exterior elevations.

Decks at grade level shall be skirted to grade. Decks which are on the second story (that are not cantilevered) and high off the ground shall either be sided down to a continuous concrete grade beam and sided with the same siding as the main body of the structure, or they shall be required to have additional mass and size in the vertical support posts and a soffit treatment to the under side of the deck which is approved by the Committee. Treated douglas fir, except in structural members, is not an acceptable decking material.

Section 4.8. Garages and Parking. Each single family home is required to have a minimum of an attached or detached two (2) car garage with a sectional roll up door(s). There will be no long term storage of cars or other vehicles outside the garage. Parking of cars, trucks, or any other vehicles in the street is discouraged. Garage doors are to be specifically subdued and, if possible, should not directly face the street. Garage doors shall be painted a color matching or of similar tone to that of the primary siding color of the structure.

Section 4.9. Energy Considerations. All occupied structures shall be designed so that the primary heat source is fueled by natural gas or electricity. The use of wood, wood bi-products, propane or coal burning appliances as the principle source of heat is prohibited. All wood burning devices except fireplaces shall be fitted with catalytic converters.

Section 4.10. Exterior Lighting.

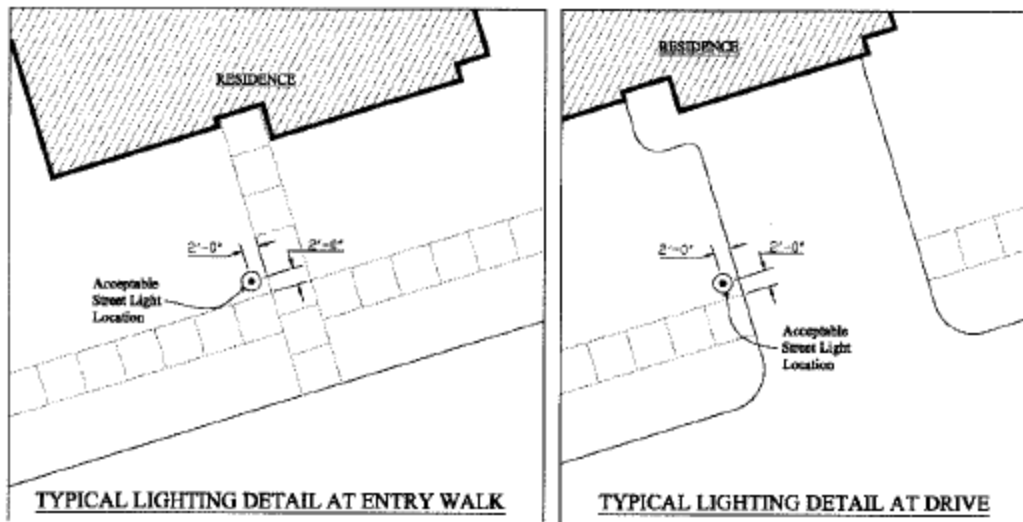
- A) Recessed or canned lighting is encouraged for porches, main entrances and other exterior applications to achieve softer, non-glare, lighting effects. Clear glass or translucent panels are specifically discouraged. Honey glass or amber glass panels are encouraged as an alternative to "down light" type fixtures. No exposed bulbs shall be allowed.
- B) Each alleyway garage is to provide a minimum of one wall mounted light fixture or recessed can fixture with a minimum of 60 watts and maximum of 120 watts in a non glare or "down light" configuration. Such lights are to be controlled by photo electric cells. Owner shall at all times maintain the photocell in good working order such that the fixture will be illuminated during all periods of darkness.
- C) All residential lighting (non-street lighting) shall be illuminated with lights that meet the City of Bozeman standard requirements. In addition, all outdoor residential



lighting shall be free of glare, and shall be fully shielded or shall be indirect lighting. No illumination shall extend beyond a property's lot line. No unshielded lights shall be permitted. No mercury vapor lights shall be permitted. For purposes of this paragraph, the following definitions shall apply:

1. Fully shielded lights: Outdoor residential light fixtures shielded or constructed so that no light rays are emitted by the installed fixture at angles above the horizontal plane as certified by a photometric test expert;
2. Indirect light: Direct light that has been reflected or has scattered off of other surfaces;
3. Glare: Light emitting from a luminary with an intensity great enough to reduce a viewer's ability to see, and in extreme cases, causing momentary blindness; and
4. Outdoor Lighting: The nighttime illumination of an outside area or object by any man-made device located outdoors that produces light by any means.

D) Each house shall provide front walk lights standardized for the entire subdivision. Such lights shall be located as depicted on the following diagrams. This fixture will have a minimum of 60 watts and maximum of 120 watts in a non glare or "down light" configuration. Such lights are to be controlled by photo electric cells.



Unless otherwise authorized by the BLRC, such front walk lights shall be a free standing decorative light of the make and model shown on the following exhibit. All light fixtures shall be configured so as to deflect down and/or away from adjoining properties or streets. They will be placed at a minimum height of six (6') feet measured from the top of the sidewalk adjacent to it to the bottom of the light fixture itself.

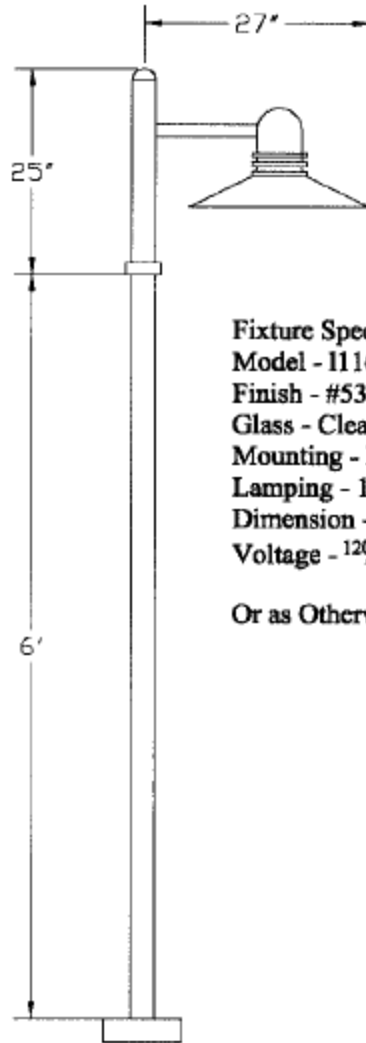


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Standard Entry Light



Fixture Specifications:

Model - I116/wm11/pm9/3stp8/53-41

Finish - #53 Rust

Glass - Clear

Mounting - Pole Mount

Lamping - 100 Watt Incandescent

Dimension - As Specified

Voltage - ¹²⁰/₂₇₇

Or as Otherwise Approved by BLRC



ARTICLE V
SITE DEVELOPMENT AND LANDSCAPE GUIDELINES

All site improvement plans shall be reviewed and approved by the Baxter Meadows Master Community Association Building and Landscape Review Committee prior to commencement of construction or alteration. As stated previously, BLRC approval is a prerequisite to the City of Bozeman building permit applications. All adjustments to the homesite and landscaping after initial construction shall require submittal of plans and shall be installed (at cost to Lot Owner) and maintained by the Association.

Section 5.1. Topography. All site plans must indicate surface drainage patterns.

Section 5.1. Driveways and Driveway Culverts. Construction of all driveways shall be the responsibility of the Contractor. All driveways and parking areas shall be surfaced with asphalt or concrete.

Section 5.2. Drainage Prohibitions. No lot owner shall fill or obstruct the natural flow of any drainage swale.

Section 5.3. Sidewalks. Sidewalks, constructed to City standards, shall be installed at the time houses are constructed on individual lots. Upon the third anniversary (3 years) of the final Plat recordation, any lot owners who have not constructed their sidewalks shall be required to install sidewalks on their lots, regardless of whether a home is constructed on the lot or not. Sidewalk maintenance, including snow removal, shall be the responsibility of The Crossing at Baxter Meadows Property Owners Association, and shall comply with the City of Bozeman Ordinances. At no time shall the sidewalk right of way be obstructed by parked automobiles straddling the sidewalk.

Section 5.4. Kennels. Kennels are prohibited in favor of the "invisible fence" system.

Section 5.5. Fences. Fencing of front yard areas shall not be allowed, and only portions of the rear yards surrounding the patio area shall be permitted to be fenced.

A) As depicted on the following diagram, on all Lots, fencing enclosing the side, rear, and front yards shall not be permitted. Fencing shall be limited to the areas directly surrounding the rear patio area, which the locations may vary based on the particular floor plan constructed on the site. Fencing location shall be approved on a site-by-site basis at the time of plan submittal.

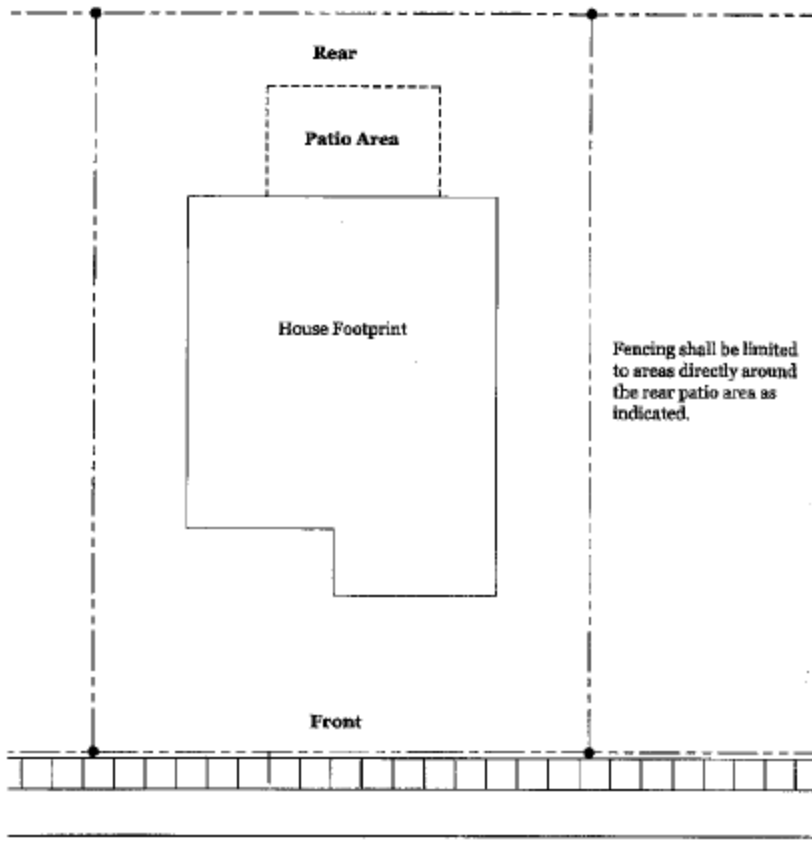


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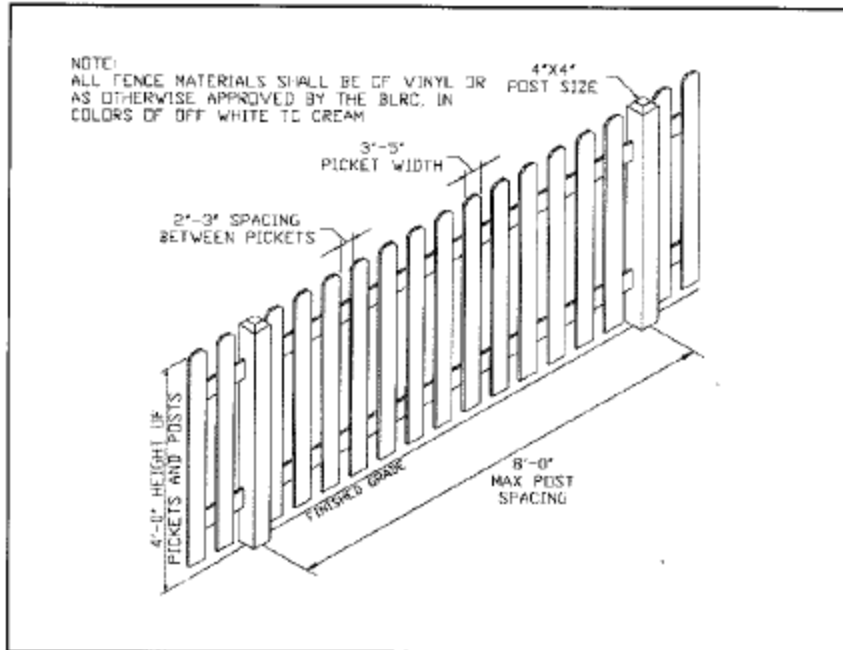
BAXTER MEADOWS PHASE 4

■ LOT SITE PLAN ■





B) Fences constructed upon any Lot shall be of an open picket design, and shall meet the specifications stipulated in the following diagram, or as otherwise specified by the BLRC:



D) All fencing shall be of material as specified by the Declarant. Fencing material of stark white or brilliant white colors shall not be permitted. All fencing designs and layouts shall be approved by the BLRC in writing before construction shall be permitted.

Section 5.6. Outdoor Storage and Privacy Screening. Not limited to, but including all building and landscape materials (on lots with occupied residences), furniture (indoor and outdoor), all forms of recreational equipment, recreational vehicles, and all boats, lawn, garden and snow removal maintenance equipment, garden implements and tools, firewood, and bicycles shall be stored in an enclosed area, such as a garage or covered porch. Privacy screens will be allowed but must be constructed of siding (to be of the same material and color the main building), brick, or stone materials, and they shall be an integrated part of the main building. The screening shall be consistent with the overall design, construction and materials of the primary residence, and shall not exceed 14 feet in uninterrupted length. The height of privacy



screening shall not exceed seven (7') feet. Plans for privacy screening must be submitted and approved by the BLRC.

Section 5.7. Antennas and Satellite Dishes. Smaller dishes of the latest technology (not exceeding two feet in diameter) will be the only kind allowed. These dishes must be located so as to be obscured from view as much as possible, and shall require BLRC approval prior to installation.

Section 5.8 Utilities. All utilities including, but not limited to, natural gas, electricity, telephone and cable T.V. shall be located underground.

Section 5.9 Temporary Structures. No temporary structures, trailers, campers, motor homes, tents, shacks, or similar structures shall be used as a residence on the lot.

Section 5.10. Solid Waste. All rubbish, trash, waste and garbage shall be regularly removed from the property and shall not be allowed to accumulate thereon.

Section 5.11. Construction Debris, Materials Storage and Clean-up. Construction materials shall not at any time prior to, during, or after construction be placed or stored in the street right-of-ways or Common Areas. All construction materials shall be removed from the entire Lot within thirty (30) days of substantial completion of construction. Construction sites shall be kept clean, neat, and well organized at all times. Any construction debris shall be the responsibility of the Building Contractor and Owner and shall be maintained and properly stored on a daily basis. All debris blown from any Lot under construction shall be immediately cleaned and removed by the Lot Owner sourcing the debris. Under no circumstances shall construction debris, mud, dirt, gravel, lumber, garbage, waste, or other inappropriate materials be allowed to accumulate on, or be stored upon or within Common Areas or public right-of-ways at any time. The BLRC reserves the right to fine negligent parties up to \$500.00 for construction debris infraction.

Section 5.12. Recreational Vehicles. Trailers, motor homes, boats, snowmobiles, campers, motorcycles, and other recreational vehicles may be stored on the lot as long as they are not used for habitation, and only if they are stored completely out of sight from all directions within an attached, covered structure which is aesthetically acceptable to the BLRC.

Section 5.13 Mail Boxes. Individual mail boxes shall not be allowed. Mail boxes will be clustered at strategic locations to simplify mail delivery and reduce streetscape clutter. Mail box clusters will be of a location approved by the local Postmaster and no parking shall be allowed in front of the mailbox clusters.

Section 5.14. Landscaping. Landscaping will be required to enhance the value of the property and the aesthetics of the site. The entire Lot shall be landscaped, including up to the actual edge of the road curb. All landscaping improvements shall be designed and installed by the Declarant or his representative, and will be included in the total cost of the home. Landscape and irrigation maintenance shall be the responsibility of the Association.



A) Lots Backing or Siding to Davis Lane and Baxter Lane: To ensure an attractive appearance of The Crossing at Baxter Meadows community as viewed by the public utilizing Davis Lane and Baxter Lane, the rear and side yards of residences adjacent to Baxter Lane and Davis Lane shall include sufficient landscape material and design so as to present a visually attractive rear yard to the public from such public right of way, as well as to buffer potential noise and visual conflicts between the rear of the residence and the arterial routes of travel. This may include, but is not limited to the BLRC requiring additional appropriate fencing, trees, and / or shrubs meeting the standards stated herein. An example of an approved rear yard elevation for these locations is shown in the diagram below:



Section 5.15. Landscaping Maintenance. Lawns and landscaping shall be maintained at all times in a manner which shall not detract from the appearance and value of the adjoining lots or diminish the aesthetics of the subdivision. All landscaping shall be maintained by the Association.



IN WITNESS WHEREOF, the Declarant has caused these Building and Landscape Design Regulations and Guidelines to be executed by its authorized agent this 23 day of October, 2007.

BAXTER MEADOWS WEST LLC,
a Montana limited liability company,

By: Thomas L. Clinton
Thomas L. Clinton

STATE OF MONTANA)
) ss.
COUNTY OF Gallatin)

The foregoing instrument was acknowledged before me by THOMAS L. CLINTON , as Authorized Agent, of Baxter Meadows West LLC, this 23 day of October, 2007.

Witness my hand and official seal.

Connie J. Thompson
Connie J. Thompson
Notary Public for the State of Montana
Residing at Belgrade
My Commission expires: 9-19-2011

